

GRATON HOLDINGS LTD

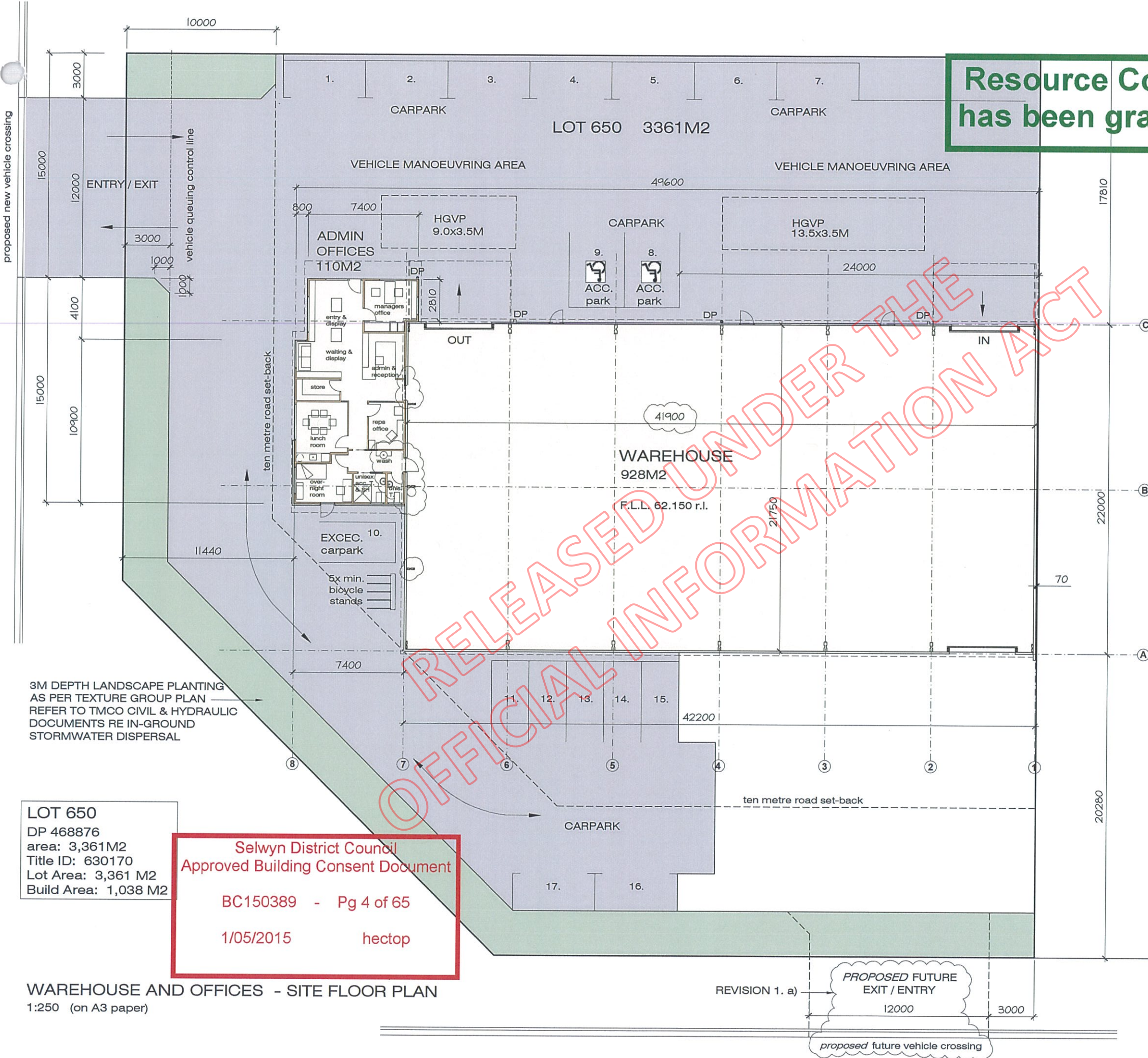
Proposed New Warehouse & Offices

49 STONELEIGH DRIVE ROLLESTON - LOT 650, IZONE



Selwyn District Council
Approved Building Consent Document
BC150389 - Pg 2 of 65
1/05/2015 hectop

**Resource Consent # 155150
has been granted on 14/04/15**



- notes:**
1. READ IN CONJUNCTION WITH TMCO CIVIL & HYDRAULIC DOCUMENTS RE STORMWATER & SITE PAVING LEVELS ETC.
 2. REFER TO PLANTING PLAN BY TEXTURE GROU
 3. PARKING PROVIDED
17x Carparks incl. 2x Mobility/Accessible parks
1x 13.5x3.5M HGVP
1x 9.0x3.5M HGVP
5x Bicycle stands
 4. Provide International Symbol of Access (ISA) as per NZBC F8/AS1 & NZS 4121: 2001 (Design for Access & Mobility)

CLIMATE ZONE	3
EXPOSURE ZONE	B
EARTHQUAKE ZONE	2
WINDOW REGION	A
High Wind (38-44M/sec)	
SNOW ZONE	N4

- Sheet Rev. 1 - issue B3 (23-03-15)**
a) amendment to txt relating to Future Exit/Entry off Hanover Place.
- Sheet Rev. 2 - issue B4 (14-04-15)**
a) Offices internal door ID03 update
b) end columns shown on Gridline (7.)
c) Minor dimension change
- Sheet Rev. 3 - issue B5 (21-04-15)**
a) toilet area revision incl. dims. extra whb and HWC moved into Warehouse

Graton Holdings Warehouse
49 STONELEIGH DR. ROLLESTON
6 / 16 Newtown Street, BROMLEY, CHCH
s 9(2)(a) E. kevin@lightning.co.nz

lightning CONSTRUCTION LTD

Scale: 1:250 Issue: SHT. **01r**
Date: 21-04-15 B5 of 25

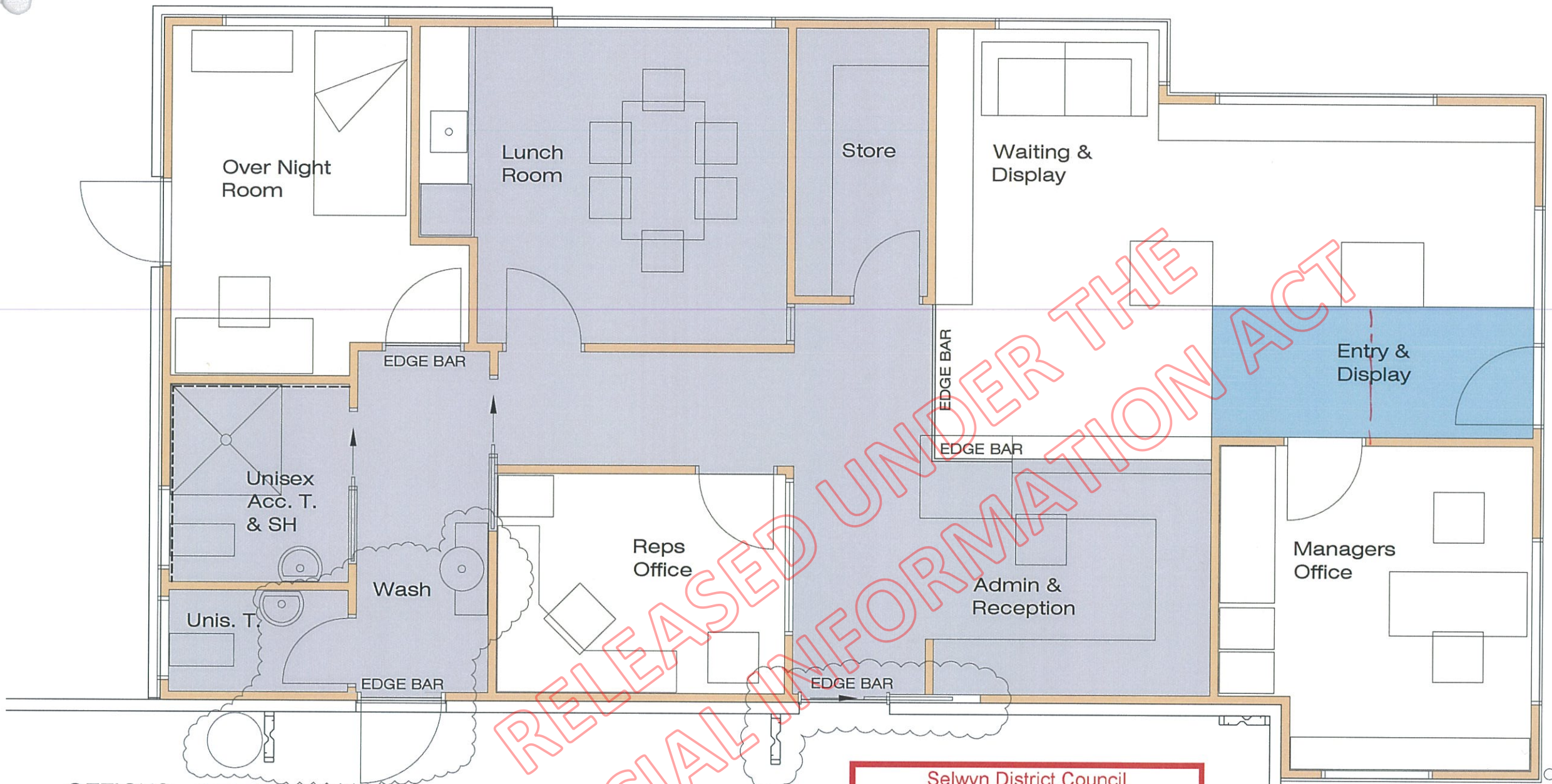
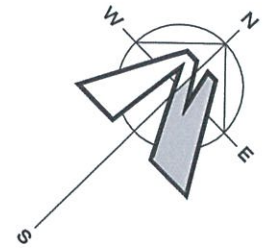
LOT 650
DP 468876
area: 3,361M2
Title ID: 630170
Lot Area: 3,361 M2
Build Area: 1,038 M2

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WAREHOUSE AND OFFICES - SITE FLOOR PLAN
1:250 (on A3 paper)

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Carpet tile the entire area - and have an entrance mat

OFFICES - floor finishes plan
 1:50 scale on A3 paper
 REFER TO PROJECT SPECIFICATION - SECTION 27.0 INTERIOR FITOUT - OFFICES

key:

- COMMERCIAL CARPET / CARPET TILES AS SPECIFIED
- COMMERCIAL ENTRY CARPET / MATTING AS SPECIFIED
- COMMERCIAL VINYL SELECTIONS AS SPECIFIED
- INDICATES WALL VINYL TO SHOWER ROOM AS SPECIFIED
 WALL VINYL EXTENDS DOWN OVER WALL VINYL UPSTAND:
 INSTALLER TO LIAISE WITH THE DESIGNER

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Sheet Rev. 1. - issue B3 (14-04-15)
 a) Offices internal door update ID03 & new ID10
 b) end columns shown on Gridline (7.)

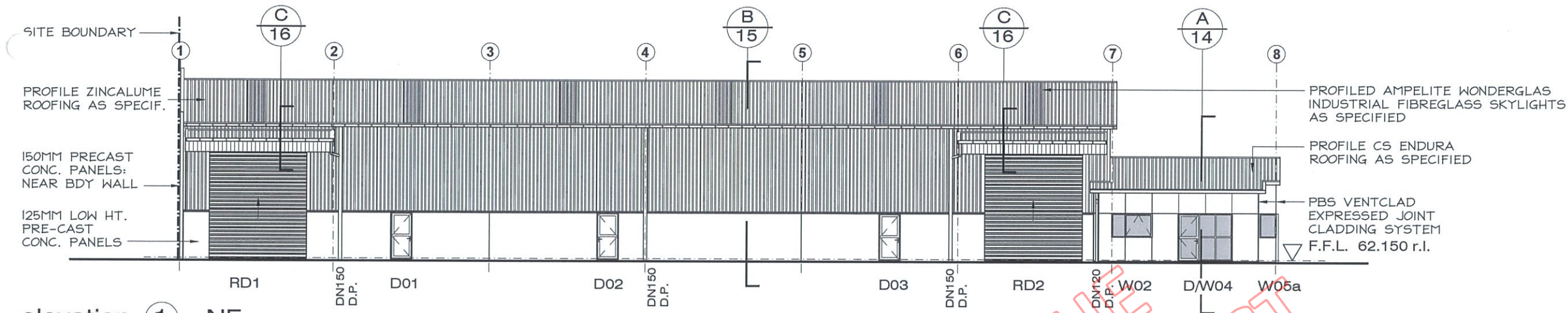
Sheet Rev. 2. - issue B4 (21-04-15)
 a) revision of toilet area, extra whb, door moved and 180 Ltr. HWC located into Warehouse

Graton Holdings Warehouse
 49 STONELEIGH DR. ROLLESTON

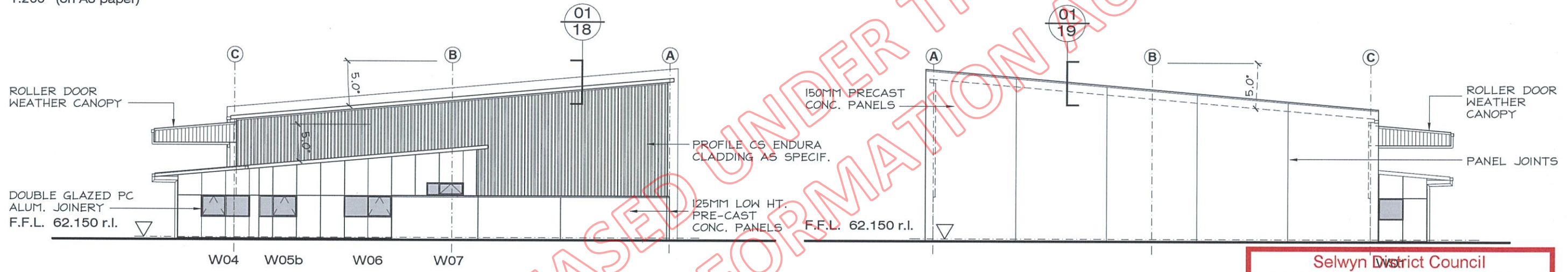
6 / 16 Newtown Street, BROMLEY, CHCH
 s 9(2)(a) E. kevin@lightning.co.nz



Scale: 1:50	Issue: B4	SHT. of 25	09r
Date: 21/04/15			



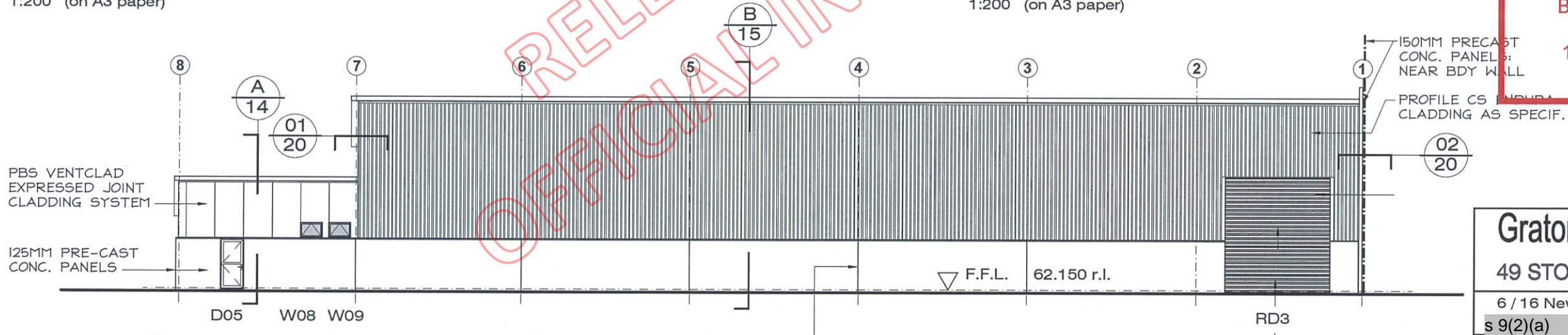
elevation ① NE
1:200 (on A3 paper)



elevation ② NW
1:200 (on A3 paper)

elevation ④ SE
1:200 (on A3 paper)

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1/05/2015 hectop



elevation ③ SW
1:200 (on A3 paper)

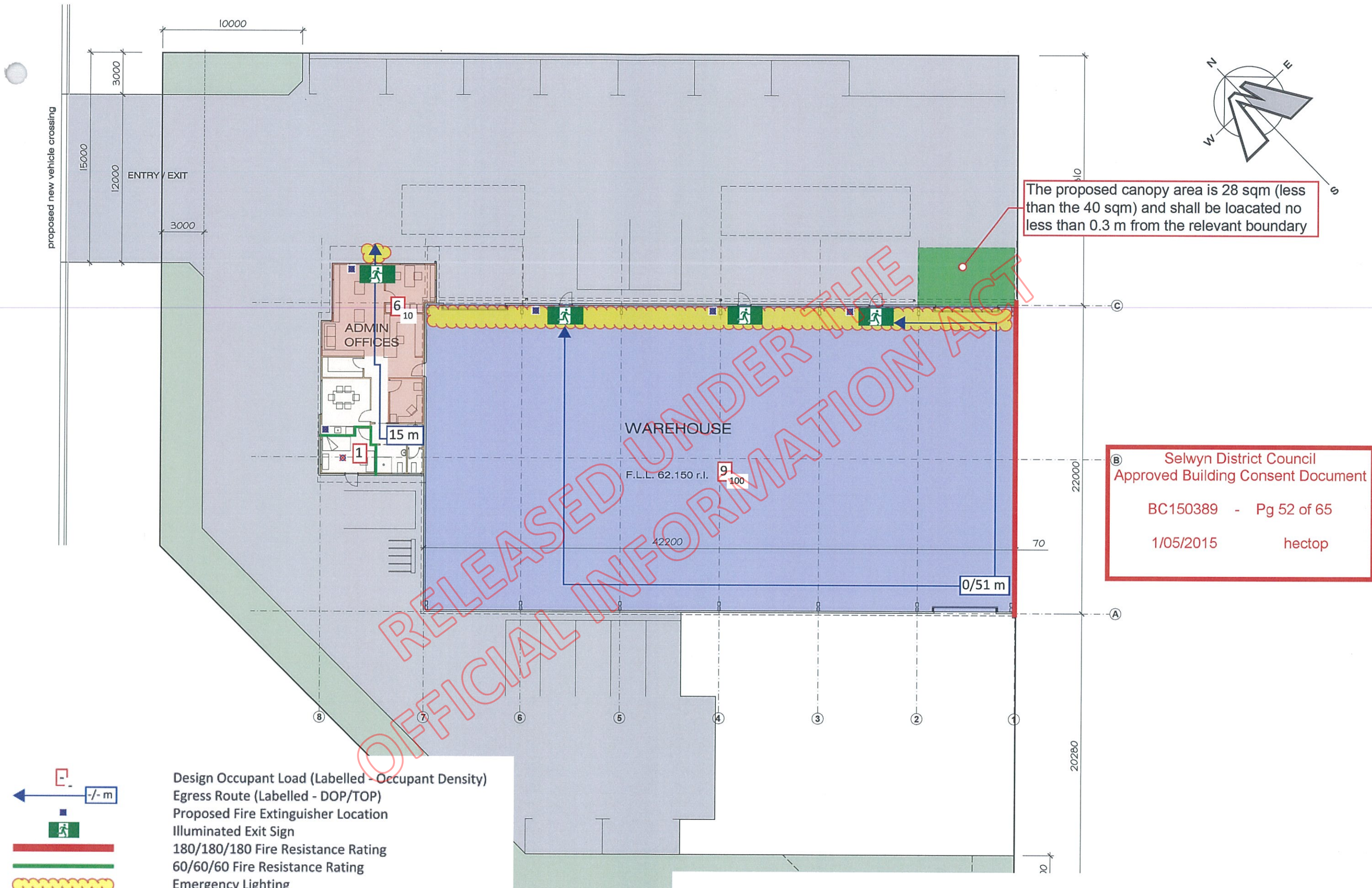
REFER TO SITE, FLOOR PLANS AND ROOF PLAN

PANEL JOINTS
4.4M X 4.8M HIGH
MOTORISED TRU-ROLLER
ZINCALUME CURTAIN
DOORS BY TRU-BILT

Graton Holdings Warehouse
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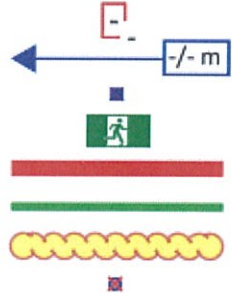


Scale: 1:200 Issue: SHT. of 25
Date: 25/02/15 B2 of 25 **10**



The proposed canopy area is 28 sqm (less than the 40 sqm) and shall be located no less than 0.3 m from the relevant boundary

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Design Occupant Load (Labelled - Occupant Density)
 Egress Route (Labelled - DOP/TOP)
 Proposed Fire Extinguisher Location
 Illuminated Exit Sign
 180/180/180 Fire Resistance Rating
 60/60/60 Fire Resistance Rating
 Emergency Lighting
 Proposed Domestic Smoke Detector Location



FIRE DRAWING
GRATON HOLDINGS WAREHOUSE
 49 STONELEIGH DRIVE
 ROLLESTON

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE

TMCO.CO.NZ CONSULTING ENGINEERS STRUCTURAL MECHANICAL CIVIL HYDRAULIC ELECTRICAL FIRE			
Engineered by :	Kevin Suen	Date :	26-01-15
Drawn by :	Kevin Suen	Date :	26-01-15
Sheet No:	Job No:	Issue:	Scale:
F2	141008	A	1:250



Lot 679
DP 468876

Survey undertaken 16 December 2014.

Stoneleigh Drive

Lot 650
DP 468876

Hannover Drive

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Note:
Levels are in terms of Selwyn District Council Drainage Network (Dec 2014)

Origin of levels: Manhole Corner of Hannover Place & Stoneleigh Drive

Site benchmark: RL 61.76
Masonry Anchor
RL 61.60
Flush in kerb

Clark Land Surveyors Ltd
Registered Surveyors - Land Development Consultants

Unit 6, 11 Print Place
PO Box 8177, Riccarton
CHRISTCHURCH
s 9(2)(a)
email: cls@cls.co.nz

Site Survey of Lot 650 DP 468876

CT 630170

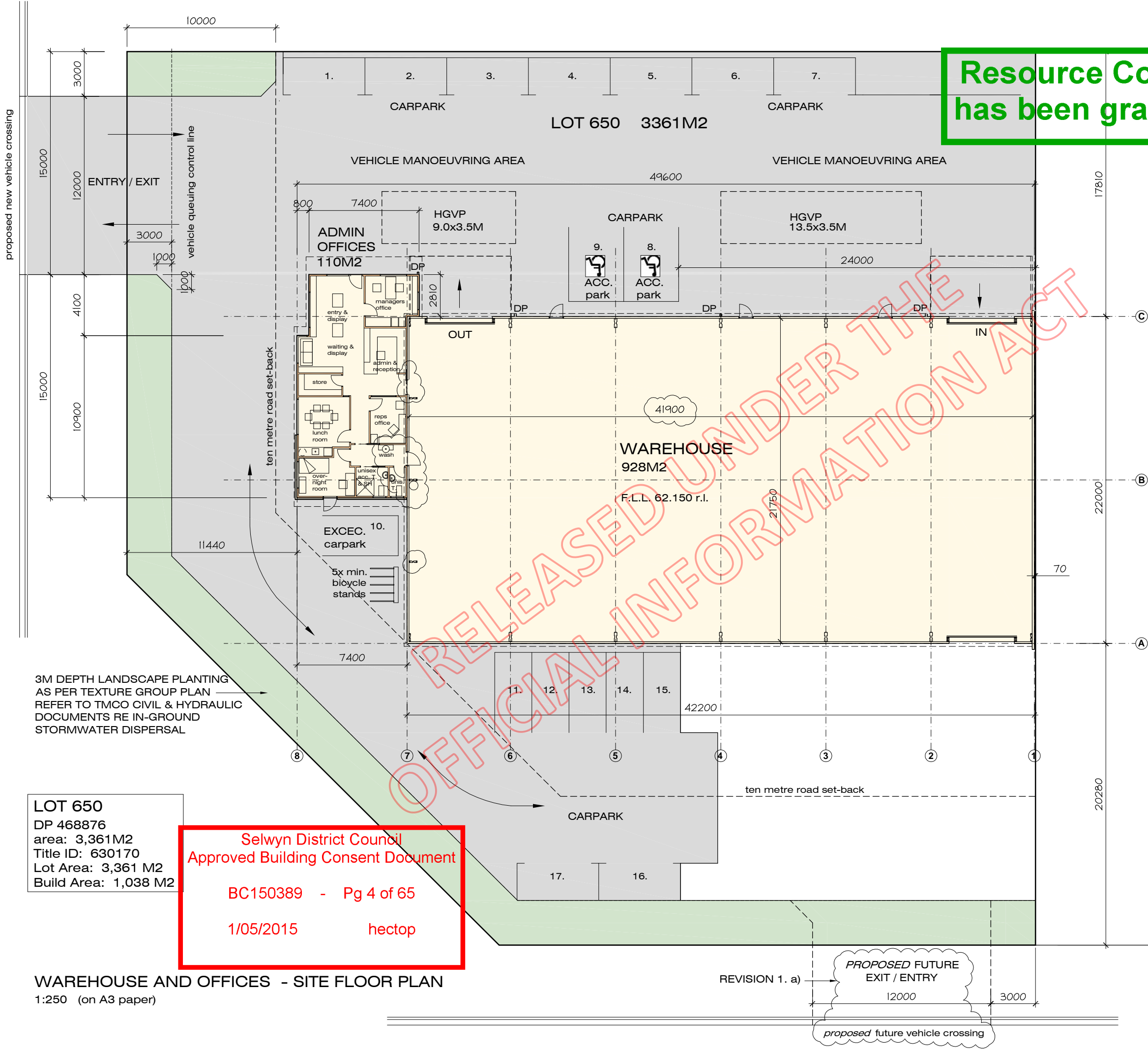
Lightning Construction - Cnr Hannover Drive & Stoneleigh Drive

This drawing and its contents are the property of Clark Land Surveyors Limited. Any unauthorised employment or reproduction, in full or in part, is forbidden

Scale: 1:400
At A3

File Ref: 121405

**Resource Consent # 155150
has been granted on 14/04/15**



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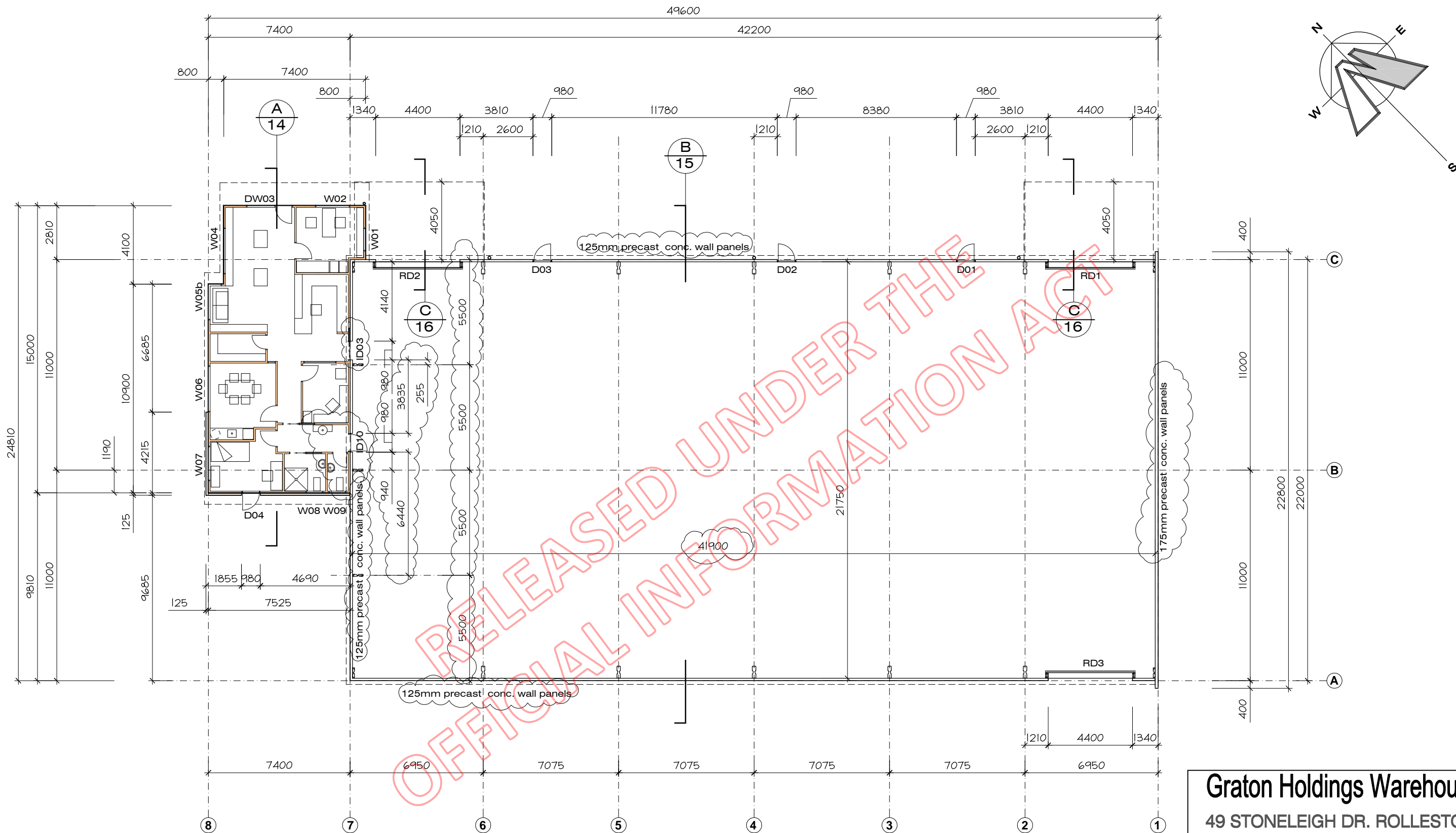
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Graton Holdings Warehouse
49 STONELEIGH DR. ROLLESTON
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Scale: 1:250 Issue: SHT. of 25 **01r**
Date: 21-04-15 B5

WAREHOUSE AND OFFICES - SITE FLOOR PLAN
1:250 (on A3 paper)

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WAREHOUSE AND OFFICES - BUILDING SETOUT PLAN
1:200 (on A3 paper)

Selwyn District Council
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1/05/2015 hectop

Sheet Rev. 1. - issue B3 (14-04-15)

- a) internal door update ID03 & ID10
- b) new and altered dimensions
- c) end columns shown
- d) precast panel thickness noted incl. change to 175mm panels on Gridline (1.)

Sheet Rev. 2. - issue B4 (21-04-15)

- a) toilet area revision incl. dims. extra whb and HWC moved into Warehouse

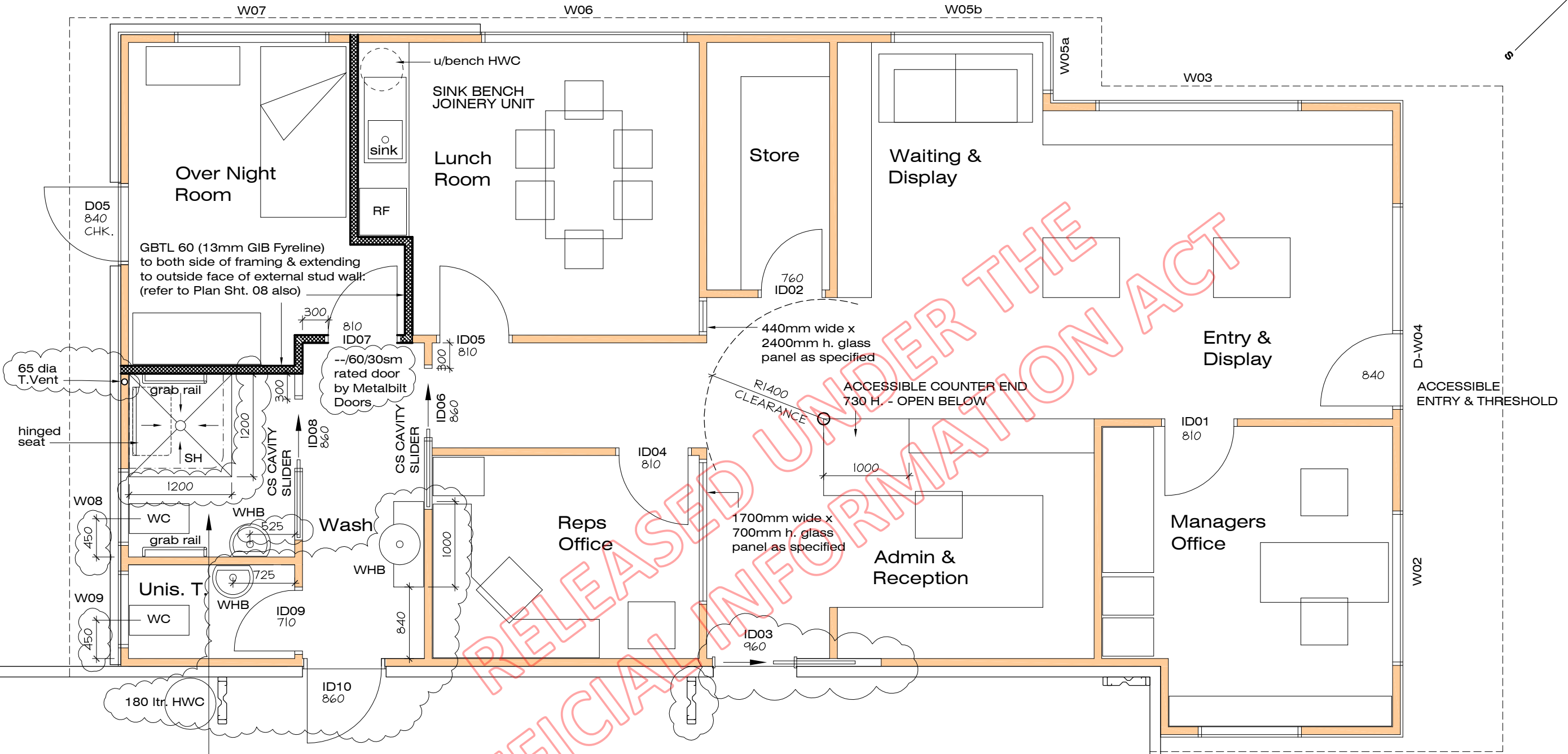
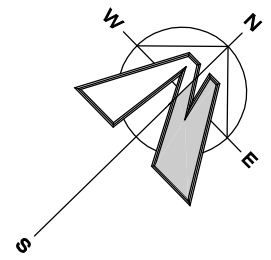
Graton Holdings Warehouse
49 STONELEIGH DR. ROLLESTON

6 / 16 Newtown Street, BROMLEY, CHCH
s 9(2)(a) E. kevin@lightning.co.nz



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CONSTRUCTION LTD

Scale: 1:200	Issue: B4	SHT. of 25	03r
Date: 21/04/15			



Unisex Accessible Toilet & Shower
REFER TO FIG. 5 G1/AS1 IN SUPPORT DOCUMENTS

OFFICES - reference plan
1:50 scale on A3 paper
REFER TO PROJECT SPECIFICATION - SECTION 27.0 INTERIOR FITOUT - OFFICES

NOTE:

- All Lintels over window and door openings as listed below.
- Refer also to project Specification & TMO documents
- Refer to Section A Sht. 14r & Reflected Ceiling Plan Sht. 08r

- Internal single Doors: 2x90x45 SG8
- Cavity Sliders & 1.7M Glass Screen: 2x140x45 SG8
- All exterior openings: 2x190x45 SG8 EXCEPT for W01, W07-W09, D06: 2X140X45 SG8

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Sheet Rev. 1. - issue B3 (14-04-15)
a) Offices internal door update ID03 & new ID10
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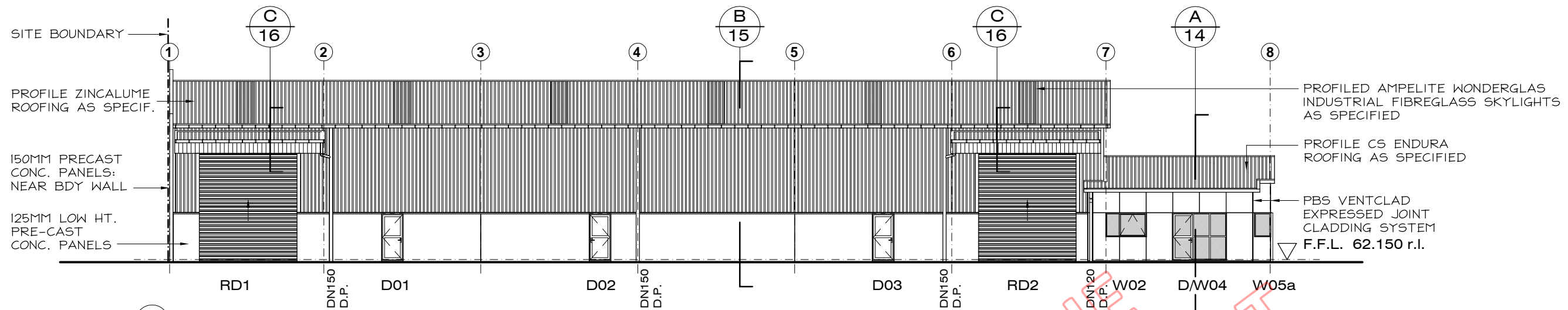
Sheet Rev. 2. - issue B4 (21-04-15)
a) toilet area update, moving ID09, extra whb, Wash Area whb moved along wall and 180ltr HWC relocated into Warehouse
b) some notes and dimensions added

Graton Holdings Warehouse
49 STONELEIGH DR. ROLLESTON

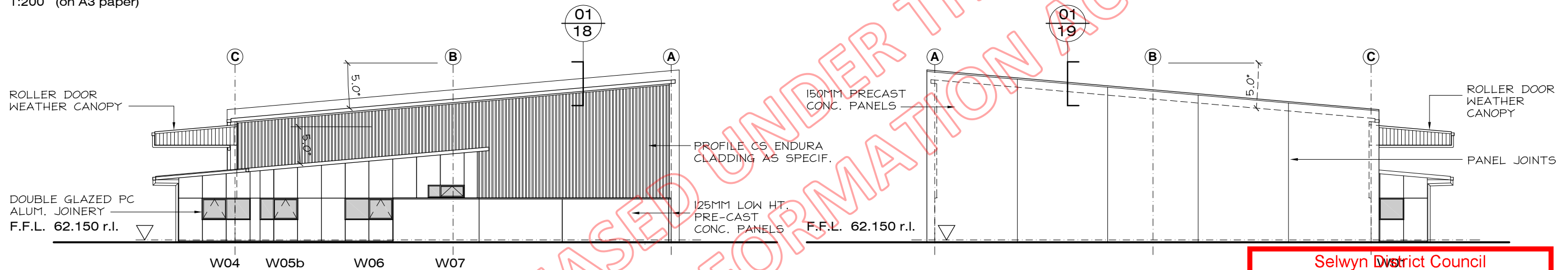
6 / 16 Newtown Street, BROMLEY, CHCH
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Scale: 1:50	Issue: B4	SHT. of 25
Date: 21/04/15	07r	



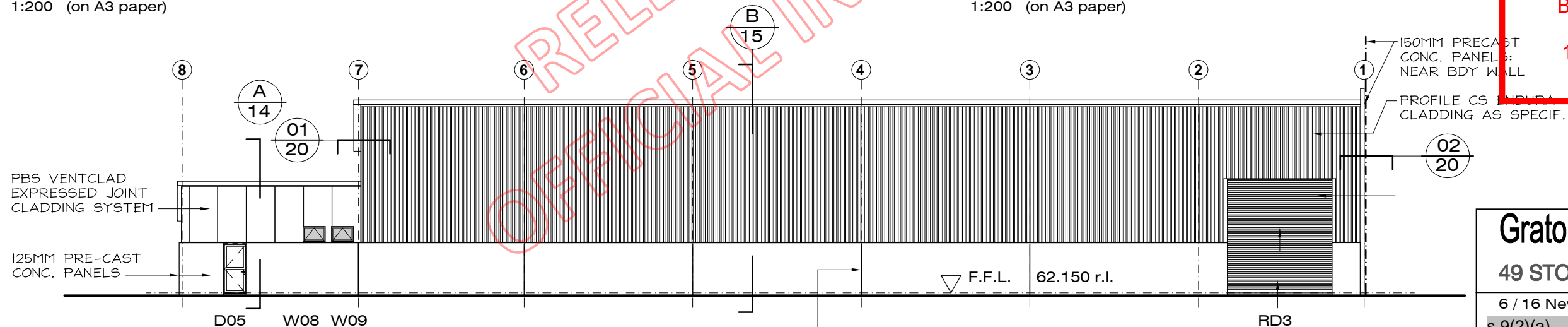
elevation 1 NE
1:200 (on A3 paper)



elevation 2 NW
1:200 (on A3 paper)

elevation 4 SE
1:200 (on A3 paper)

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elevation 3 SW
1:200 (on A3 paper)

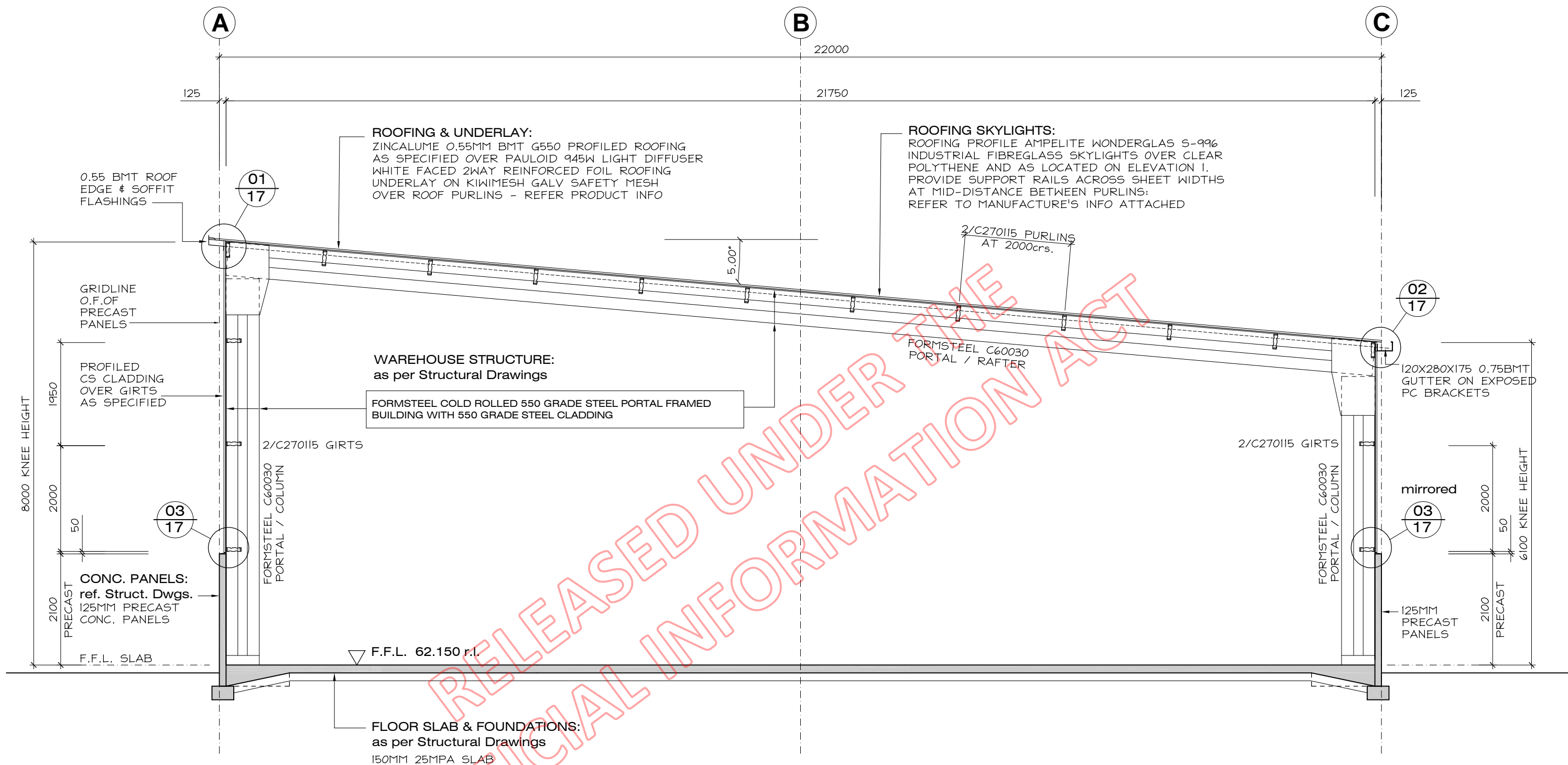
REFER TO SITE, FLOOR PLANS AND ROOF PLAN

PANEL JOINTS
4.4M X 4.8M HIGH MOTORISED TRU-ROLLER ZINCALUME CURTAIN DOORS BY TRU-BILT

Graton Holdings Warehouse
 49 STONELEIGH DR. ROLLESTON
 6 / 16 Newtown Street, BROMLEY, CHCH
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Scale: 1:200	Issue: B2	SHT. of 25	10
Date: 25/02/15			



section **B** Warehouse

1:75 scale on A3 paper

REFERENCE MUST BE MADE TO THE NZ METAL ROOF AND WALL CLADDING CODE OF PRACTICE (Version 2.2 / 2012)

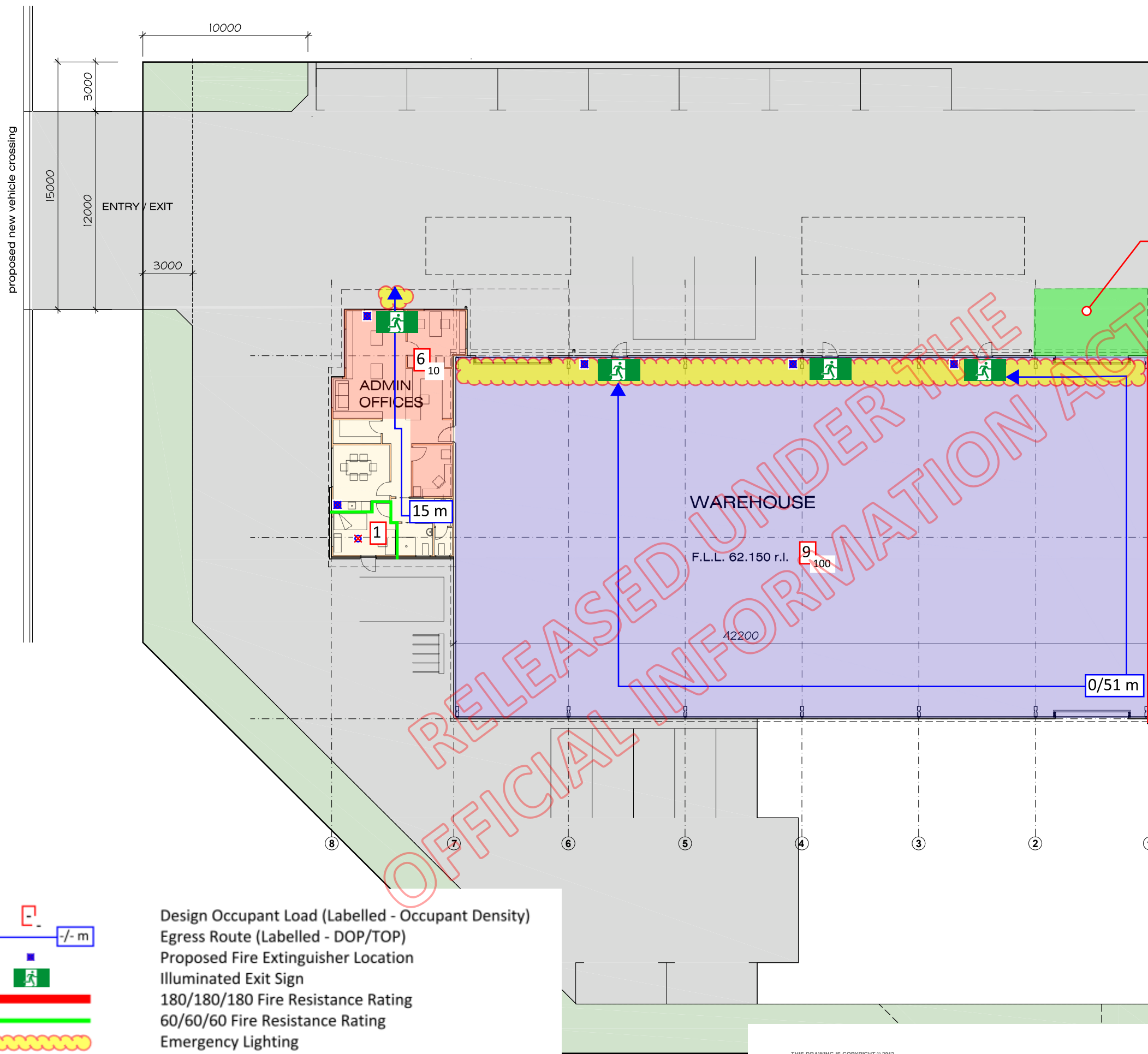
A Copy of this Code MUST be kept on site during construction for reference and quality control purposes.

It forms part of the Consent documents by way of reference. Any conflict between the Drawings and the Code MUST be brought to the attention of the Designer - Kevin Stevenson M. 0275 677118

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Graton Holdings Warehouse
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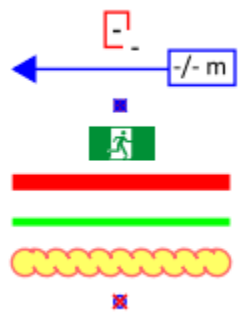


The proposed canopy area is 28 sqm (less than the 40 sqm) and shall be located no less than 0.3 m from the relevant boundary

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1/05/2015 hectop



Design Occupant Load (Labelled - Occupant Density)
 Egress Route (Labelled - DOP/TOP)
 Proposed Fire Extinguisher Location
 Illuminated Exit Sign
 180/180/180 Fire Resistance Rating
 60/60/60 Fire Resistance Rating
 Emergency Lighting
 Proposed Domestic Smoke Detector Location

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CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE



FIRE DRAWING
GRATON HOLDINGS WAREHOUSE
 49 STONELEIGH DRIVE
 ROLLESTON

TMCO.CO.NZ CONSULTING ENGINEERS			
STRUCTURAL MECHANICAL CIVIL HYDRAULIC ELECTRICAL FIRE			
Engineered by :	Kevin Suen	Date :	26-01-15
Drawn by :	Kevin Suen	Date :	26-01-15
Sheet No:	Job No:	Issue:	Scale:
F2	141008	A	1:250

proposed new vehicle crossing

vehicle queuing control line

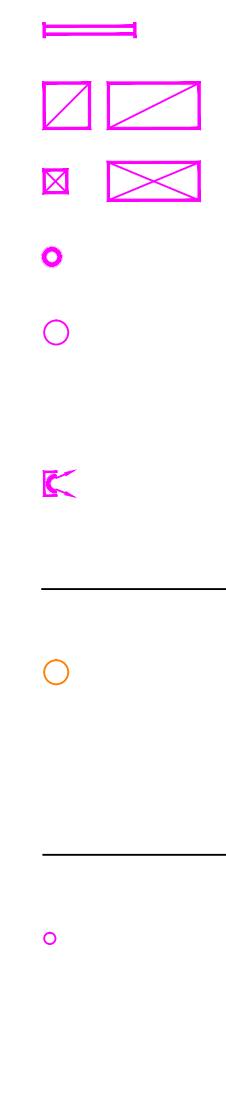
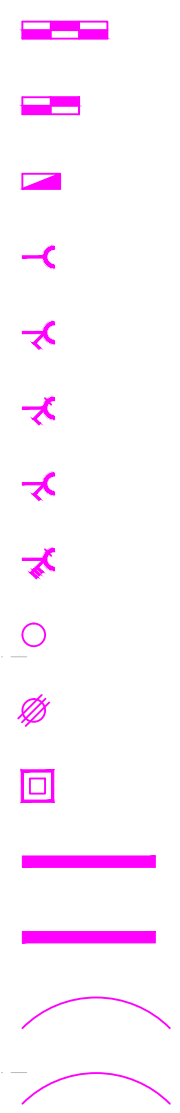
ten metre road set-back

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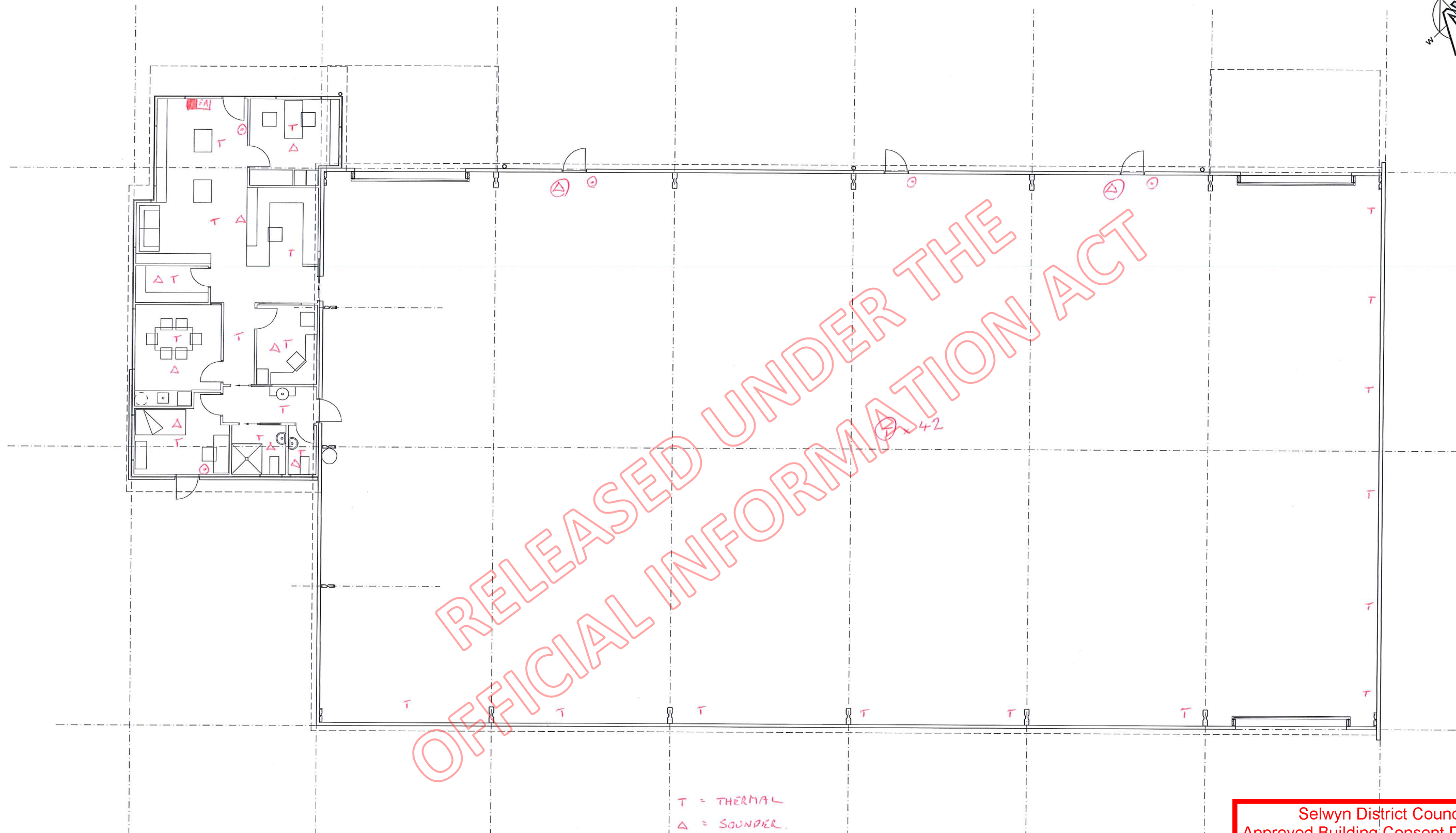
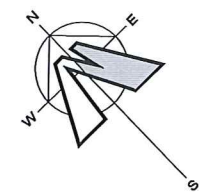
1/05/2015 hectop



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TMCO.CO.NZ CONSULTING ENGINEERS
 STRUCTURAL MECHANICAL CIVIL HYDRAULIC ELECTRICAL FIRE

TM Consultants Ltd.
 A. 5 Burdole Street.
 P.O. Box 8874,
 Christchurch 8440,
 New Zealand
 s 9(2)(a)
 E: info@tmco.co.nz



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T = THERMAL
Δ = SOUNDER
⊙ = MCP

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