



FORM 5 BUILDING CONSENT

Section 51, Building Act 2004

Building Consent Number: EBC-2019-11617/0

THE BUILDING

Street Address of Building

139 Tepene Tablelands Road, Kaeo 0478

Building Name:

Level/unit number:

Legal description of land where building is located:

Pt Lot 3 DP 50233

Location of Building within site / block number:

THE OWNER

Name of Owner:

Waiaua Bay Farm Limited

Mailing Address:

C/- Design Composites Ltd 103B Millington Road RD 9 Whangarei 0179

Street Address / Registered Office:

Contact Person Name:

Chris McCluskey

Phone Number:

Landline:

Mobile:

Daytime:

After Hours:

Facsimile Number:

Email Address:

Website:

First point of contact for communications with the building consent authority:

Chris McCluskey Design Composites Ltd 103B Millington Road, RD 9 Whangarei 0179 P:09 343 7555 M:021 301 354 E: desgn.composites@gmail.com

BUILDING WORK

The following building work is authorised by this building consent:

Construct a Single Storey Fire Station and Install a New On-Site Wastewater Disposal System

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

THIS BUILDING CONSENT IS SUBJECT TO THE FOLLOWING CONDITION(S)

Section 90 Inspections by the Building Consent Authority

Agents authorised by the Building Consent Authority are entitled to inspect, at all times during normal working hours or while building work is being done. Inspection means the taking of all reasonable steps to ensure that building work is being carried out in accordance with this building consent. The required inspections are attached to this document.

COMPLIANCE SCHEDULE

A compliance schedule is required for the building. The compliance schedule must contain the following specified systems and comply with the performance standards for those systems required by the building code:

SS2 Automatic or Manual Emergency Warning Systems

- Standard: NZS4512: 2010
- Type: 3 automatic fire alarm with heat detection

SS3/3 Interfaced Fire or Smoke Doors or Windows

- Standard: NZS4520: 2010
- Type: TBC on or before the Final Inspection

SS4 Emergency Lighting Systems

- Standard: NZBC F6/AS1
- Type: TBC on or before the Final Inspection

SS14/2 Signs Relating to a System or Feature Specified in any of Clauses 1 to 13

- Standard: SS2 – Manual call points – F8/AS1
- Standard: SS4 – Exit Signs – F6/AS1
- Type: TBC on or before the Final Inspection

SS15/4 Signs to Facilitate Evacuation

- Standard: F8/AS1
- Type: TBC on or before the Final Inspection

ATTACHMENTS

Copies of the following documents are attached to this building consent:

- Project information memorandum
- Development contribution notice
- Notification of requirement to obtain Resource Consent (Form 4)
- Advice notes, producer statements, certificates and inspections required for this consent



A handwritten signature in blue ink, appearing to read 'Dr Dean Myburgh'.

Position:
On behalf of:
Date:

Dr Dean Myburgh
General Manager, District Services
Far North District Council (Building Consent Authority)
01-Oct-2019

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Section A – Advice Notes

Planning Advice Notes

1. Accessible car parking spaces shall have clear ground marking in accordance with the international symbol of access.
2. If during the course of undertaking the site works there is a discovery made of any archaeological find, or suspected find, the work on that portion of the site should cease immediately and Heritage NZ and a representative of the relevant local Iwi contacted. It is unlawful to modify, damage or destroy an archaeological site without prior authority from the trust under the Historic Places Act 1993. Please contact Heritage New Zealand to obtain the Accidental Discovery Protocol Guidelines. A point of contact is Bill Edwards via 09 407 0470 or 09 407 0471 or AreaMgrNA@heritage.org.nz
3. It is recommended that you contact Heritage New Zealand to discuss your proposal because Heritage New Zealand may require an archaeologist undertake an archaeological survey before works commence.
4. You must comply with the conditions of Resource Consent 2190517 Granted 18/04/19.
5. Before issue of Code Compliance Certificate, please ensure that a Vehicle Crossing application has been applied for and granted ([application form](#)). Vehicle crossing to be constructed in accordance with Council's Engineering Standards for Vehicle Crossings and all Bylaws of the Council in force at the time of such construction. Any queries regarding this please on the Monitoring Team on 0800 920029.
6. Whilst the building consent has now been issued, we note that some aspects of the work involving Council-owned land will not be able to proceed until an encroachment license has been issued by the Council in its role as landowner. Please apply for a [License to Occupy a Portion of Road](#) in relation to the proposed Retaining Walls being constructed within Legal Road.
7. Assessment of your consent has highlighted the need for an Earthworks Permit under the Control of Earthworks Bylaw. Please note that this [Earthworks Permit](#) must be granted prior to any Earthworks commencing. If you require any assistance in this matter, please contact the Duty Planner on 0800 920 029 or Duty.Planner@fndc.govt.nz

Documentation

Please read all documentation associated with this building consent in detail, documentation includes:

- the building consent, which lists building consent conditions and any attachments, if applicable
- a schedule of the inspection requirements for this project; and
- advice on any documentation that maybe required for example, producer statements and certificates

Booking inspections

Please make sure that you call for the inspections identified in section B of this documentation. It is advisable that you plan your inspections well ahead of time and book these inspections with as much notice as possible. If insufficient notice is given, Council may not be able to schedule the inspection at your preferred time and this may cause construction delays.

Consent documents on site

Please ensure that a complete set of the approved building consent documents is on site at all times. Plans must be printed to the original scale submitted for building consent and be collated into a set.



Changes during construction

If you wish to make changes during construction, you will either have to apply for an amendment or a minor variation.

An amendment is something that materially affects compliance (e.g. structural changes) whereas a minor variation is a small change (e.g. changing the brand of insulation).

Amendments must be applied for in the same manner as if it were a building consent. Minor variations can be approved on site.

Water meter; waste water and storm water connections

If you require a water meter or connection to Council services, you must seek approval from Councils Infrastructure Department. Application forms are available on our website at: <https://www.fndc.govt.nz/services/forms-and-pamphlets-index/water-wastewater-and-refuse>

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Section B - Schedule of Inspections

The following inspections have been identified as required for this building project:

209A Strip Footing Foundation

To check soil conditions and the size and depth of footings prior to the placement of concrete. All reinforcing steel must be in place and be tied and supported on chairs. Reinforcing steel appropriate grade and size.

Note: If you are unable to locate survey pegs a Registered Land Surveyor's certificate will be required and must be provided at time of inspection.

209E Pole Retaining Wall Foundation

To check; location to boundary, size and depth of holes, size and treatment level of poles, mPa of concrete to be used.

212 Under Slab Plumbing

To check all under slab drainage and plumbing; all pipes to be under test and exposed for inspection. As-built plan and Plumber to be on site for inspection.

213B Concrete Slab on-Grade

To check that hard fill has been compacted; DPM placed; reinforcement is tied and supported in chairs; and starter bars fitted. A string-line must be in place to check slab thickness.

Note: A PS4 is required where hard fill exceeds 600mm.

If you are unable to locate survey pegs a Registered Land Surveyor's certificate will be required and must be provided at time of inspection.

222A Wall and Roof Framing

To check; hold down straps, bolts, wall and roof framing members; truss fixings, wall and roof bracing tie downs; wall framing; beams and lintels; plywood substrates for membranes including falls and outlets.

Note: This inspection is carried out prior to building wrap being fitted.

223 Cavity Wrap

To check the cavity has been formed; cavity battens; cavity closers and flashings are all in place; windows to be fitted.

226A Cladding

To check the installation of the cladding system; junctions between different claddings, flashings, etc., to ensure that the exterior of the building is weathertight.



- 229A** **Preline Building**
To check the building is weathertight, proprietary connections for bracing elements installed and moisture content below 18%, prior to fixing any internal linings and to check the installation of all wall, ceiling and mid-floor insulation (thermal and acoustic) prior to installing interior linings.
Note: Cladding must be completed; windows installed and building completely weathertight. All services (electrical and plumbing) complete.
- 229B** **Preline Plumbing**
To check pipe work is under test (water supply and soil wastes); pressure test to be on at time of inspection.
Note: This inspection may be included with the Preline Building inspection.
- 229C** **Insulation**
To check that all insulation has been friction fitted and is the correct R-value.
- 237B** **Post Line (fire ratings)**
To check fire rated linings; materials, collars, wraps and other passive fire protection measures including suspended ceilings (if applicable) prior to any stopping.
- 241A** **Drainage (conventional)**
To check that all stormwater and sewer drains have been laid to the correct fall and are under test prior to backfilling trenches.
Note: An as-built plan is required for all work at time of inspection.
- 241C** **Stormwater Detention or Retention Tank**
To check the location and installation of any stormwater detention or retention tanks.
- 241D** **Effluent Disposal System, Septic Tank, Effluent Field**
To check the correct system installed, location, filters, dripper lines, surface water interception drains in place and field correct size for design.
- 306B** **Final Inspection - Commercial**
To check all construction associated with the building consent has been completed; this includes painting and decorating; floor coverings; fixtures; fittings; electrical work; heating appliances; etc. Ground levels established; driveways and car parking areas formed and landscaping completed. All signage (accessibility and egress) in place. All specified systems installed, tested and commissioned.
Note: Electricity must be connected at time of inspection.

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Section C – Documentation required

The following producer statements, testing certificates and warranties are required to confirm compliance during construction:

Energy Works Certificate - Electrical

The electrician is required to submit an energy works certificate certifying that all electrical installations meet the requirements of Clause G9 (Electricity) of the New Zealand Building Code and the Electrical Regulations.

Fire Alarm System Certification

The installer and an accredited inspection body are required to provide a Certificate of Completion for Fire Alarm System confirming that it has been installed, tested and commissioned in accordance with the nominated performance standard.

The installer must also provide an as-built plan showing the location of each of the specified systems that they have installed.

Other Specified Systems – Installation, Testing and Commissioning Certificates

The installer must provide a certificate confirming that any other specified systems have been installed, tested and commissioned in accordance with the nominated performance standard. Certificates are required for each of the following systems:

- Emergency lighting
- Emergency power supply
- Interfaced/mechanical ventilation systems

The installer must also provide an as-built plan showing the location of each of the specified systems that they have installed.

Wastewater (PS4)

Producer statement construction review (PS4) is to be submitted by the engineer for the observation and construction of the on-site wastewater treatment and disposal system. Confirmation is also required that the work complies with the design approved by this building consent.

Water Tank

Install water storage tank with minimum capacity 45,000 litres for fire-fighting purposes complete with an outlet compatible with Fire and Emergency NZ requirements.

PS4 – Other

Construction monitoring and PS4 from Wilton Joubert Ltd for: Site cut, fill compaction, footings pre-pour, beam connections/portal frame and retaining wall holes and poles.



RECORD OF INSPECTIONS FOR EBC-2019-11617/0

Applicant Name: Waiaua Bay Farm Limited
Project: Construct a Single Storey Fire Station and Install a New On-Site Wastewater Disposal System
Address: 139 Tepene Tablelands Road, Kaeo 0478

- Please refer to the attached Form 5 document for a list of inspections required for this project.
This document will be collected at the final inspection and retained on Council files.

Building conditions, inspections, advice notes and documentation requirements have been discussed with the Owner / Agent / Builder / Other

Date: Print Name & Initial: Role:

Table with 6 columns: Inspection Date, Inspection Code, Result, Inspection Sheet ID#, Comments, Inspectors Initials. The table contains 15 empty rows for recording inspection data.

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Inspection Date	Inspection Code	Result	Inspection Sheet ID#	Comments	Inspectors Initials

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